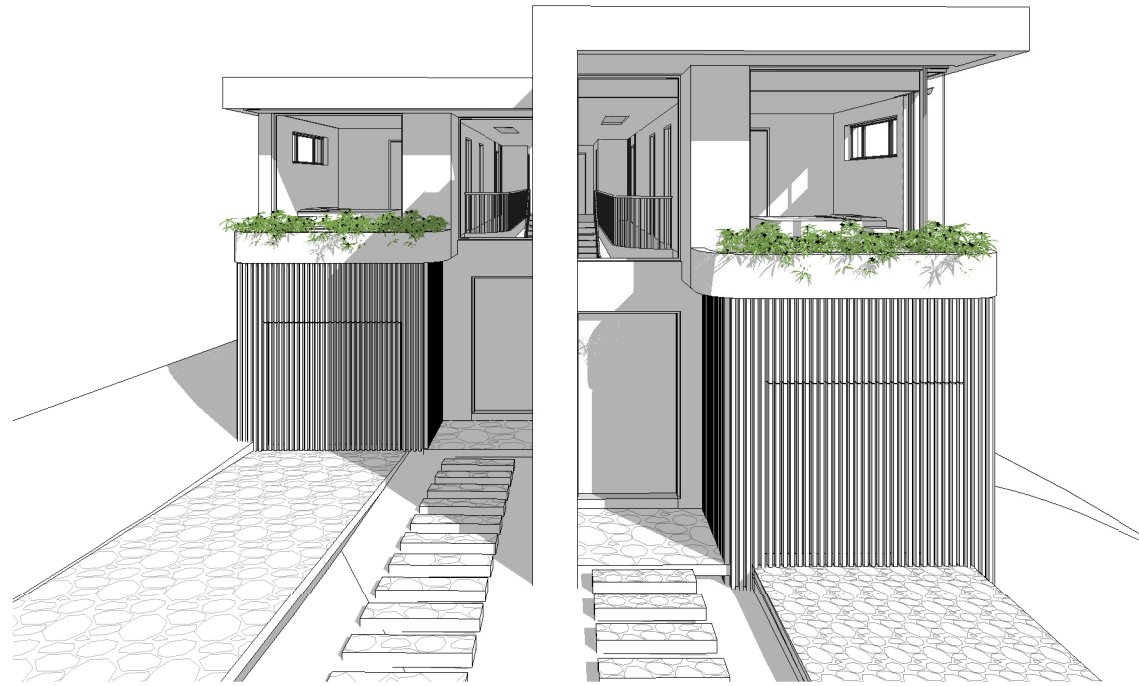


# PROPOSED TWO STOREY DUAL OCCUPANCY

LOT 134, DP 132272  
2 MEAGER AVENUE  
PADSTOW NSW 2211



DRAWING LIST			
SHEET No.	SHEET NAME	CURRENT REVISION DATE	CURRENT REVISION
DA001	COVER PAGE	02.11.21	A
DA002	DEMOLITION GROUND FLOOR PLAN	02.11.21	A
DA003	SITE ANALYSIS PLAN	02.11.21	A
DA100	SITE PLAN	02.11.21	A
DA101	PROPOSED GROUND FLOOR PLAN	02.11.21	A
DA102	PROPOSED FIRST FLOOR PLAN	02.11.21	A
DA103	PROPOSED ROOF PLAN	02.11.21	A
DA201	BUILDING SECTION	02.11.21	A
DA202	SWIMMING POOL DETAILS	02.11.21	A
DA301	ELEVATIONS - SHEET 1	02.11.21	A
DA302	ELEVATIONS - SHEET 2	02.11.21	A
DA501	3D PERSPECTIVE VIEWS	02.11.21	A
DA601	SHADOW DIAGRAM - SHEET 1	02.11.21	A
DA602	SHADOW DIAGRAM - SHEET 2	02.11.21	A
DA603	SHADOW DIAGRAM - SHEET 3	02.11.21	A
DA701	SUBDIVISION (DRAFT) PLAN	02.11.21	A

## GENERAL NOTES

- ARCHITECTURAL PLANS TO BE READ IN CONJUNCTION WITH DETAILED SURVEY PLAN PREPARED BY A REGISTERED SURVEYOR.  
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.  
- DIMENSIONS ARE TAKEN FROM WALL OR BRICK FACE, NOT PLASTER, RENDER OR OTHER FINISH FACE.  
- VERIFY LOCATION OF SERVICES ON SITE PRIOR TO CONSTRUCTION.

### MATERIALS:

**FLOORS:**  
- REINFORCED CONCRETE SLAB TO ENGINEER'S DETAILS  
- INTERNAL FLOOR FINISHES: TO BE SELECTED  
**WALLS:**  
- EXTERNAL WALLS ARE GENERALLY 250mm BRICK VENEER  
- INTERNAL WALLS ARE GENERALLY 100mm TIMBER STUD  
NOTE: PROVIDE CONSTRUCTION & ARTICULATION JOINTS AS REQUIRED, TO ENGINEER'S DETAILS.

### RECYCLED PLANTATION TIMBERS:

USE ONLY SUITABLE PLANTATION TIMBERS SELECTED FROM THOSE LISTED IN LOCAL COUNCIL SPECIFICATIONS

### TERMITE PROTECTION:

INSTALL PHYSICAL BARRIERS FOR TERMITE PROTECTION TO COMPLY WITH THE NCC & AS 3660

### BALUSTRADES:

DESIGN, INSTALL & LOCATE ALL BALUSTRADES TO COMPLY WITH THE NCC

### POOL FENCING:

INSTALL POOL FENCING TO COMPLY WITH SWIMMING POOLS ACT 1992, AS 1926 & THE NCC. POOL FENCE TO BE NO LESS THAN 1.2m HIGH, BE FITTED WITH A LATCHING DEVICE NOT READILY OPENABLE BY A YOUNG CHILD & CONSTRUCTED TO AUTOMATICALLY CLOSE & LATCH.

### SMOKE ALARM:

INSTALL A SMOKE ALARM SYSTEM TO COMPLY WITH THE NCC & AS 3786

### ELECTRICAL:

ALL ELECTRICAL WORKS TO COMPLY WITH AS/NZS 3000

### LANDSCAPING:

REFER TO PLAN & DETAILS PREPARED BY THE LANDSCAPE ARCHITECT

### MECHANICAL VENTILATION:

PROVIDE MECHANICAL VENTILATION WHERE NECESSARY TO COMPLY WITH THE NCC

### WINDOWS:

WINDOWS TO COMPLY WITH AS 2047. GLAZING TO COMPLY WITH THE NCC & AS 1288. RESTRICTORS TO BE FITTED TO ALL OPENABLE WINDOWS WITH A SILL HEIGHT LESS THAN 1.7m ABOVE ADJACENT GROUND LEVEL IN ACCORDANCE WITH THE NCC

### TILES:

TILES TO COMPLY WITH AS 3958.1

### RAMP:

RAMP TO COMPLY WITH AS 2890.1

### REINFORCED CONCRETE SLABS, FOOTINGS, LINTELS & BEAMS:

TO FUTURE STRUCTURAL ENGINEER'S DETAILS

### STORMWATER:

STORMWATER & DRAINAGE IDENTIFIED ON THE ARCHITECTURAL PLANS ARE INDICATIVE ONLY. REFER TO HYDRAULIC PLANS FOR DETAILS. GUTTERING TO COMPLY WITH THE NCC & AS 3500. DOWNPIPE LOCATIONS TO COMPLY WITH AS 3500. INSTALL RAINWATER TANK TO BASIX SPECIFICATIONS.

## NCC / BCA COMPLIANCE

COMPLY WITH THE NCC 2019, VOLUME TWO & THREE: PLUMBING & DRAINAGE

## DEVELOPMENT DATA

**SITE AREA: 873.2m<sup>2</sup>**

PROPOSED GROUND FLOOR: 202.42m<sup>2</sup>  
PROPOSED FIRST FLOOR: 224.64m<sup>2</sup>  
PROPOSED PORCH AREA: 7.64m<sup>2</sup>  
PROPOSED ALFRESCO AREA(EACH UNIT): 23.45m<sup>2</sup>

PROPOSED FLOOR AREA:  
PERMITTED MAX. FLOOR AREA: (FSR 0.5:1) 436.6m<sup>2</sup>  
PROPOSED TOTAL FLOOR AREA: 436.59m<sup>2</sup>

LANDSCAPE  
PROPOSED TOTAL LANDSCAPE AREA: 304.69m<sup>2</sup>  
MIN 45% LANDSCAPING IN FRONT OF BLD LINE: 72.34m<sup>2</sup> (59%)  
LANDSCAPED AREA BEHIND BUILDING LINE: 232.35m<sup>2</sup>

### PRIVATE OPEN SPACE

REQUIRED 80m<sup>2</sup> (DIMENSIONS 5m X 5m)  
PROPOSED POS FOR LOT 2: 137.77m<sup>2</sup>  
PROPOSED POS FOR LOT 2A: 128.22m<sup>2</sup>

### SETBACKS

FRONT SETBACK: 4.55m - 11.36m  
REAR SETBACK: 37.78m - 39.91m  
SIDE SETBACK: 0.9m - 1.82m

### BUILDING HEIGHT

PERMITTED MAX. BUILDING HEIGHT: 9m - Complies

## BASIX COMMITMENTS

BASIX CERTIFICATE NUMBER: 1227944M  
NATHERS CERTIFICATE NUMBER: 0006301824 & 0006301832

/for details: See the Basix certificate/

### Alternative water

The applicant must install a rainwater tank of at least 3000 litres (For Each Unit)

The rainwater tank to collect rain runoff from at least 100 m2 of the roof

The applicant must connect the rainwater tank to:

- all toilets in the development
- all laundries in the development
- at least one outdoor tap /per unit/ in the development

### Fixtures (For Each Unit)

- Shower heads ..... 3 star (>7.5 but <= 9.0 L/min)
- Toilets..... 4 star
- Kitchen tap..... 5 star
- Basin Taps..... 5 star

### Thermal Comfort-Simulation method /for details: see the Nathers certificate/

- A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs.
- The dwelling design has been assessed with NatHERS software from an accredited assessor

**Hot Water System:** gas instantaneous with a performance of 5 stars (For Each Unit)

**Heating/Cooling (For Each Unit):** 1-phase air-conditioning; Energy rating: EER 2.5-3.0 (Zoned)

### Ventilation

- (Unit 2): Laundry: no mechanical ventilation (ie. natural); Operation control: n/a, Bathrooms & Kitchen (individual fan, ducted; Operation: manual on/off)
- (Unit 2A): Laundry: no mechanical ventilation (ie. natural); Operation control: n/a, Bathrooms & Kitchen (individual fan, ducted; Operation: manual on/off)

**Natural lighting (Unit 2):** Window in the Kitchen and 3Bathrooms/Toilets

**Natural lighting (Unit 2A):** Window in the Kitchen and 3 Bathrooms/Toilets

### Artificial lighting fluorescent or (LED)/ DEDICATED:

- (Unit 2) 4 in the Bedrooms/study, 3 in the living, the Kitchen, Bathrooms, Laundry and ALL Hallways
- (Unit 2A) 4 in the Bedrooms/study, 3 in the living, the Kitchen, Bathrooms, Laundry and ALL Hallways

### OTHER

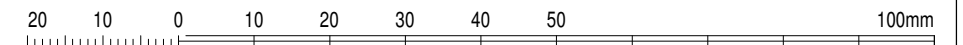
- The applicant must install a gas cook top & electric oven in the kitchen of each dwelling.
- The applicant must install a fixed outdoor clothes drying line for each dwelling

### Swimming pools (each unit)

- The swimming pools must not have a volume greater than 48 kilolitres.
- The swimming pools must be outdoors.
- The development must not incorporate any heating system for the swimming pools.
- The applicant must install a timer for the swimming pool pumps in the development.

### Alternative energy (each unit)

- The applicant must install a photovoltaic system with the capacity to generate at least 1.0 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.



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
designed

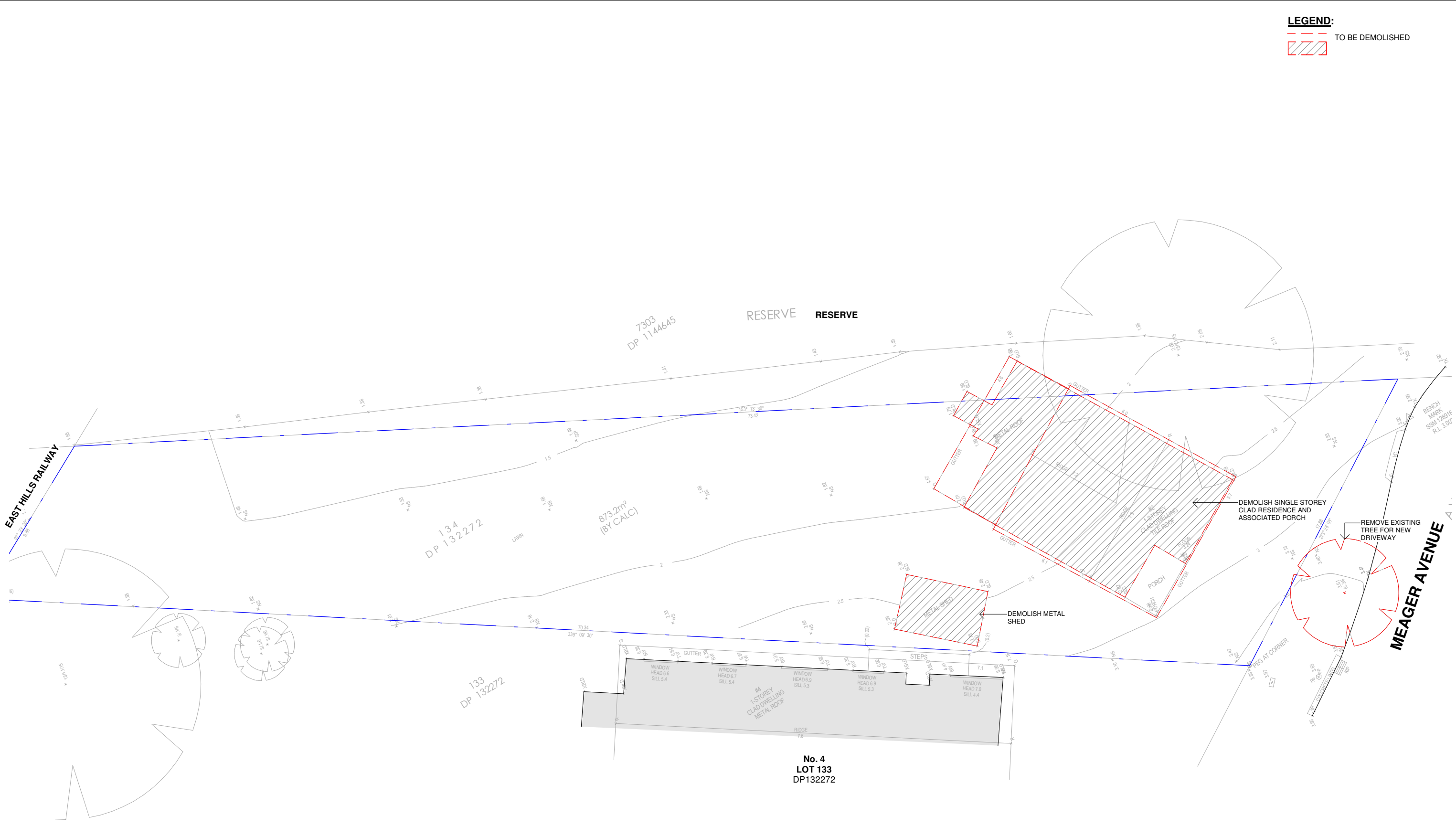
**RESOLUT**  
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e: info@resolut.com.au

client TALEB HIJAZI  
project PROPOSED DUAL OCCUPANCY  
LOT 134, DP 132272  
2 MEAGER AVENUE  
PADSTOW NSW 2211

drawing COVER PAGE  
print 02.11.21  
drawn: JH  
checked YN  
scale 1 : 50 @A3  
DA ISSUE

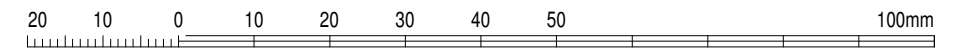
issue drawing A  
RG21.34  
DA001

**LEGEND:**  
 TO BE DEMOLISHED  




**1 DEMOLITION PLAN**  
 1 : 200

NOTE: ANY ASBESTOS GREATER THAN 10m2 MUST BE REMOVED BY A LICENSED PROFESSIONAL, ALL RECEIPTS FROM WASTE FACILITY TO BE PROVIDED TO PCA



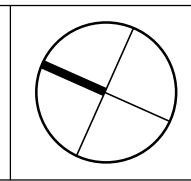
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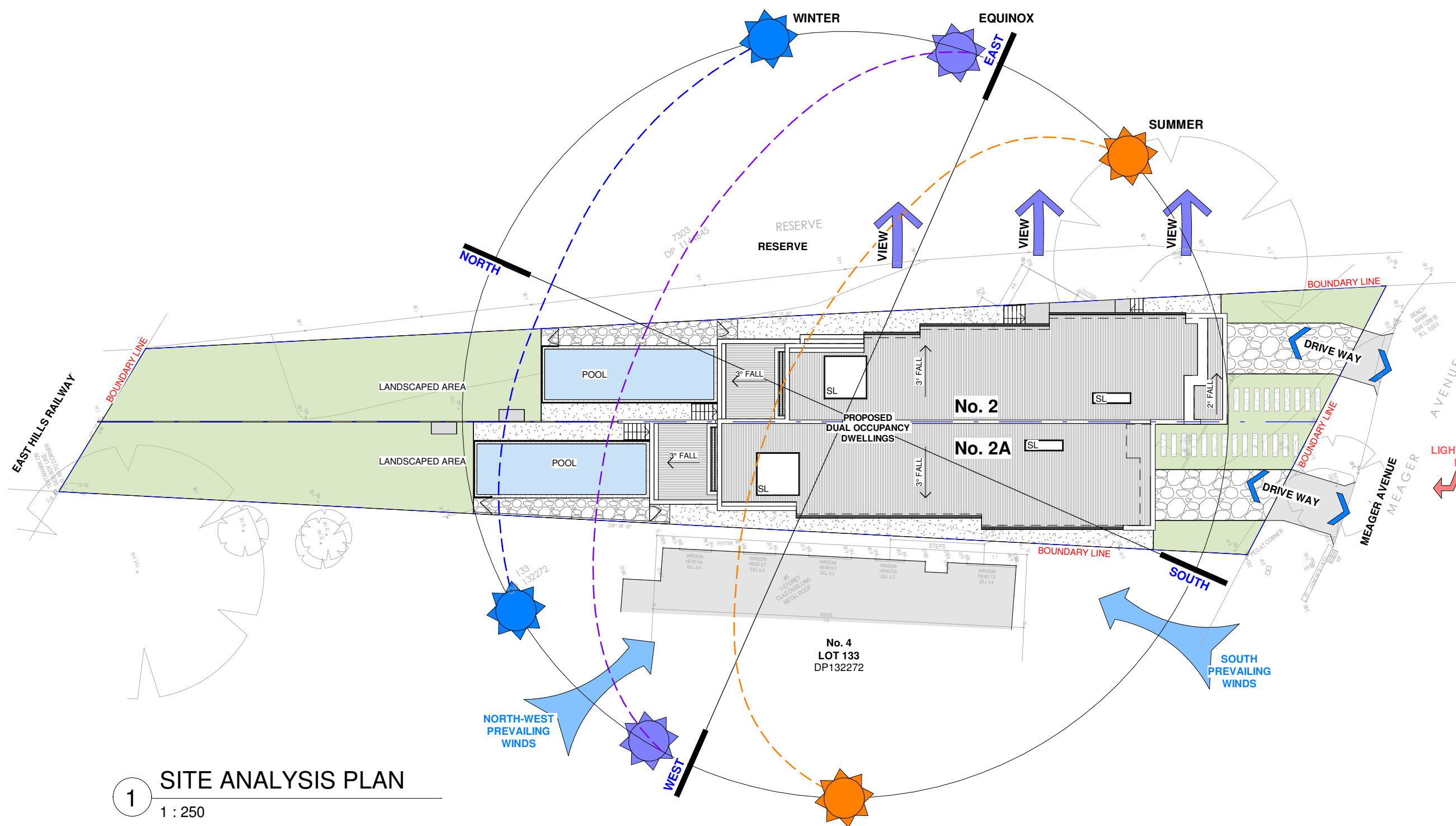


client TALEB HIJAZI  
 project PROPOSED DUAL OCCUPANCY  
 LOT 134, DP 132272  
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 PADSTOW NSW 2211

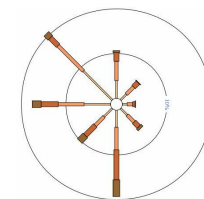
drawing  
**DEMOLITION  
 GROUND FLOOR  
 PLAN**

print 02.11.21  
 drawn: JH  
 checked: YN  
 scale: As indicated @A3  
 DA ISSUE

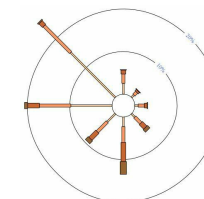
job  
 RG21.34  
 drawing  
 issue  
**A**  
 DA002



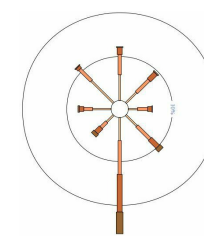
**WIND ROSE ANALYSIS  
(NEAREST STATION)**



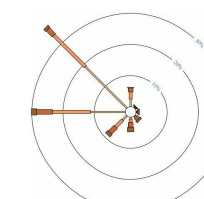
SPRING SYDNEY WIND



AUTUMN SYDNEY WIND



SUMMER SYDNEY WIND



WINTER SYDNEY WIND



**1 SITE ANALYSIS PLAN**  
1 : 250



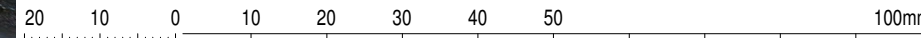
VIEW OF ADJACENT PROPERTIES TO THE WEST OF SUBJECT SITE



VIEW OF PROPERTIES ACROSS FROM SUBJECT SITE



VIEW OF RESERVE TO THE EAST OF SUBJECT SITE

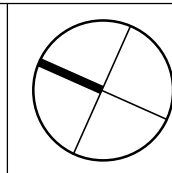


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client TALEB HIJAZI  
project PROPOSED DUAL OCCUPANCY  
LOT 134, DP 132272  
2 MEAGER AVENUE  
PADSTOW NSW 2211

drawing  
**SITE ANALYSIS  
PLAN**

print 02.11.21  
drawn: JH  
checked: YN  
scale: As indicated @A3

job  
drawing  
RG21.34  
issue  
**A**  
DA003

DA ISSUE

**DEVELOPMENT DATA**

**SITE AREA: 873.2m<sup>2</sup>**

PROPOSED GROUND FLOOR: 202.42m<sup>2</sup>  
 PROPOSED FIRST FLOOR: 224.64m<sup>2</sup>  
 PROPOSED PORCH AREA: 7.64m<sup>2</sup>  
 PROPOSED ALFRESCO AREA(EACH UNIT): 23.45m<sup>2</sup>

PROPOSED FLOOR AREA:  
 PERMITTED MAX. FLOOR AREA: (FSR 0.5:1) 436.6m<sup>2</sup>  
 PROPOSED TOTAL FLOOR AREA: 436.59m<sup>2</sup>

LANDSCAPE  
 PROPOSED TOTAL LANDSCAPE AREA: 304.69m<sup>2</sup>  
 MIN 45% LANDSCAPING IN FRONT OF BLD LINE: 72.34m<sup>2</sup> (59%)  
 LANDSCAPED AREA BEHIND BUILDING LINE: 232.35m<sup>2</sup>

PRIVATE OPEN SPACE  
 REQUIRED 80m<sup>2</sup> (DIMENSIONS 5m X 5m)  
 PROPOSED POS FOR LOT 2: 137.77m<sup>2</sup>  
 PROPOSED POS FOR LOT 2A: 128.22m<sup>2</sup>

SETBACKS  
 FRONT SETBACK: 4.55m - 11.36m  
 REAR SETBACK: 37.78m - 39.91m  
 SIDE SETBACK: 0.9m - 1.82m

BUILDING HEIGHT  
 PERMITTED MAX. BUILDING HEIGHT: 9m - Complies

**BASIX COMMITMENTS**

BASIX CERTIFICATE NUMBER: 1255092M

/for details: See the Basix certificate/  
**Alternative water**  
 The applicant must install a rainwater tank of at least 3000 litres (For Each Unit)  
 The rainwater tank to collect rain runoff from at least 100 m2 of the roof  
 The applicant must connect the rainwater tank to:  
 • all toilets in the development  
 • all laundries in the development  
 • at least one outdoor tap /per unit/ in the development

**Fixtures (For Each Unit)**  
 • Shower heads ..... 3 star (>7.5 but <= 9.0 L/min)  
 • Toilets.....4 star  
 • Kitchen tap.....5 star  
 • Basin Taps.....5 star

**Thermal Comfort-Simulation method /for details: see the Nathers certificate/**  
 • A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs.  
 • The dwelling design has been assessed with NATHERS software from an accredited assessor

**Hot Water System:** gas instantaneous with a performance of 5 stars (For Each Unit)

**Heating/Cooling (For Each Unit):** 1-phase air-conditioning; Energy rating: EER 2.5-3.0 (Zoned)

**Ventilation**  
 • (Unit 2): Laundry: no mechanical ventilation (ie. natural); Operation control: n/a, Bathrooms & Kitchen (individual fan, ducted; Operation: manual on/off)  
 • (Unit 2A): Laundry: no mechanical ventilation (ie. natural); Operation control: n/a, Bathrooms & Kitchen (individual fan, ducted; Operation: manual on/off)

**Natural lighting (Unit 2):** Window in the Kitchen and 3Bathrooms/Toilets  
**Natural lighting (Unit 2A):** Window in the Kitchen and 3 Bathrooms/Toilets

**Artificial lighting fluorescent or (LED)/ DEDICATED/:**  
 • (Unit 2) 4 in the Bedrooms/study, 3 in the living, the Kitchen, Bathrooms, Laundry and ALL Hallways  
 • (Unit 2A) 4 in the Bedrooms/study, 3 in the living, the Kitchen, Bathrooms, Laundry and ALL Hallways

**OTHER**  
 • The applicant must install a gas cook top & electric oven in the kitchen of each dwelling.  
 • The applicant must install a fixed outdoor clothes drying line for each dwelling

**Swimming pools (each unit)**  
 • The swimming pools must not have a volume greater than 48 kilolitres.  
 • The swimming pools must be outdoors.  
 • The development must not incorporate any heating system for the swimming pools.  
 • The applicant must install a timer for the swimming pool pumps in the development.

**Alternative energy (each unit)**  
 • The applicant must install a photovoltaic system with the capacity to generate at least 1.0 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

**NATHERS COMMITMENTS**

NATHERS CERTIFICATE NUMBER: 0006734313 & 0006734321

**Building Elements**  
 /For Details: see the Nathers certificate  
**Thermal Comfort-Simulation method**  
 A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs.  
 The dwelling design has been assessed with NatHERS software from an accredited assessor

**External Walls**  
 • Cavity Brick-Foil Sided Bubble Wrap, Anti-glare one side

**Internal Wall**  
 • Single Skin Brick Bulk Insulation, No Air Gap R 2.5 (Against Garage)  
 • Single Skin Brick No Insulation  
 • Cavity brick, plasterboard No Insulation

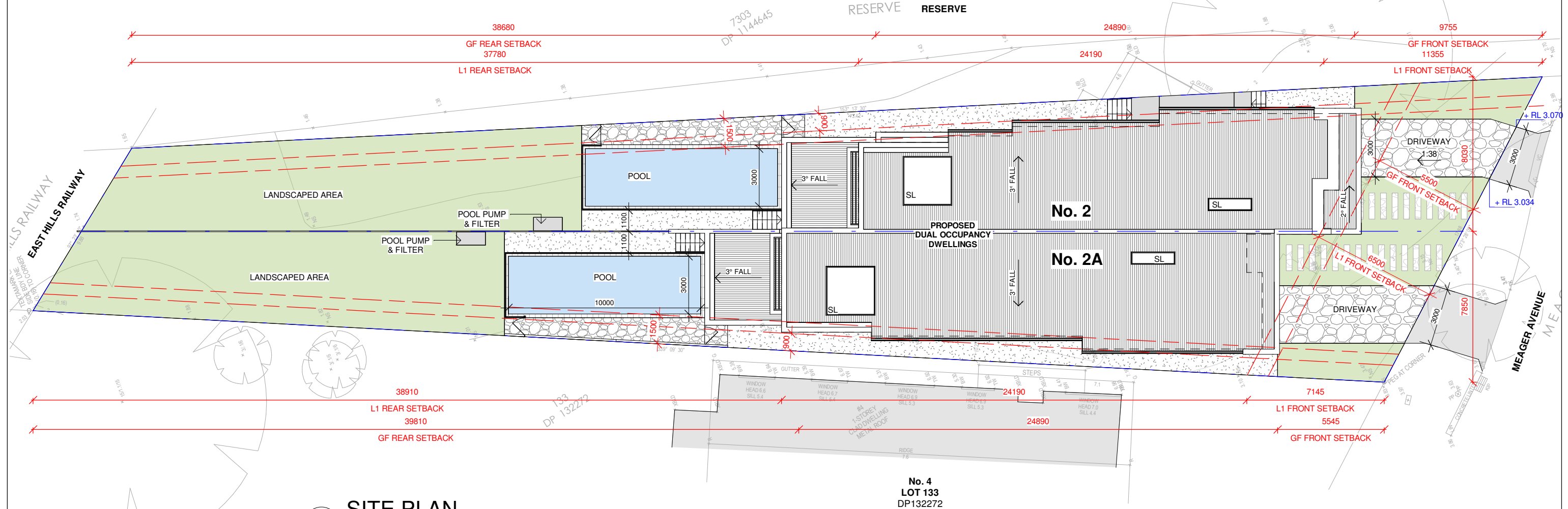
**External Floor**  
 • Concrete Slab on Ground  
 • Suspended Floor-R2.5 (Open to air)

**Internal Floor/Ceiling**  
 • Concrete Above Plasterboard Bulk Insulation R 2.5 (Above garage)  
 • Concrete Above Plasterboard No Insulation (All others)

**External Ceiling**  
 • Concrete, Plasterboard Bulk Insulation R2.5 No roof space cavity  
 • Plasterboard Bulk Insulation R4.0 Unventilated roof space

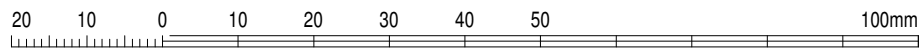
**Roof**  
 • Corrugated Iron Bulk, Reflective Side Down, No Air Gap Above R 1.3  
 • Waterproofing Membrane No Insulation, Only an Air Gap

Note: All coffer ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation  
 Note: All down lights: IC-F /IC-4/ (insulation covered/ including the control gears/) rated as per AS/NZS standard 60598 and IP (sealed) rated as per BS EN 60529:1992, European IEC 60509:1989  
 Note: (where the roof is extended over an open area such as a deck or carport): A barrier to be installed within the roof space to separate the space above the zoned part of the house and the space above the open veranda.  
 Note-Ceiling fans: For the number and the location, see the Nathers certificate



**1 SITE PLAN**  
1 : 200

**NOTE:**  
 ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH **BASIX REPORT**  
 (CERTIFICATE NUMBER: 1255092M), **NATHERS** (CERTIFICATE NUMBERS: 0006734313 & 0006734321), STRUCTURAL ENGINEER'S DRAWINGS, AND OTHER RELEVANT DOCUMENTS.

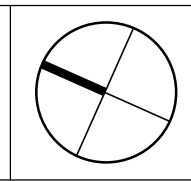


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A	02.11.21	ISSUED FOR DA

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 e: info@resolut.com.au



client **TALEB HIJAZI**  
 project **PROPOSED DUAL OCCUPANCY**  
 LOT 134, DP 132272  
 2 MEAGER AVENUE  
 PADSTOW NSW 2211

drawing **SITE PLAN**  
 print 02.11.21  
 drawn: JH  
 checked YN  
 scale As indicated @A3

DA ISSUE

job **RG21.34**

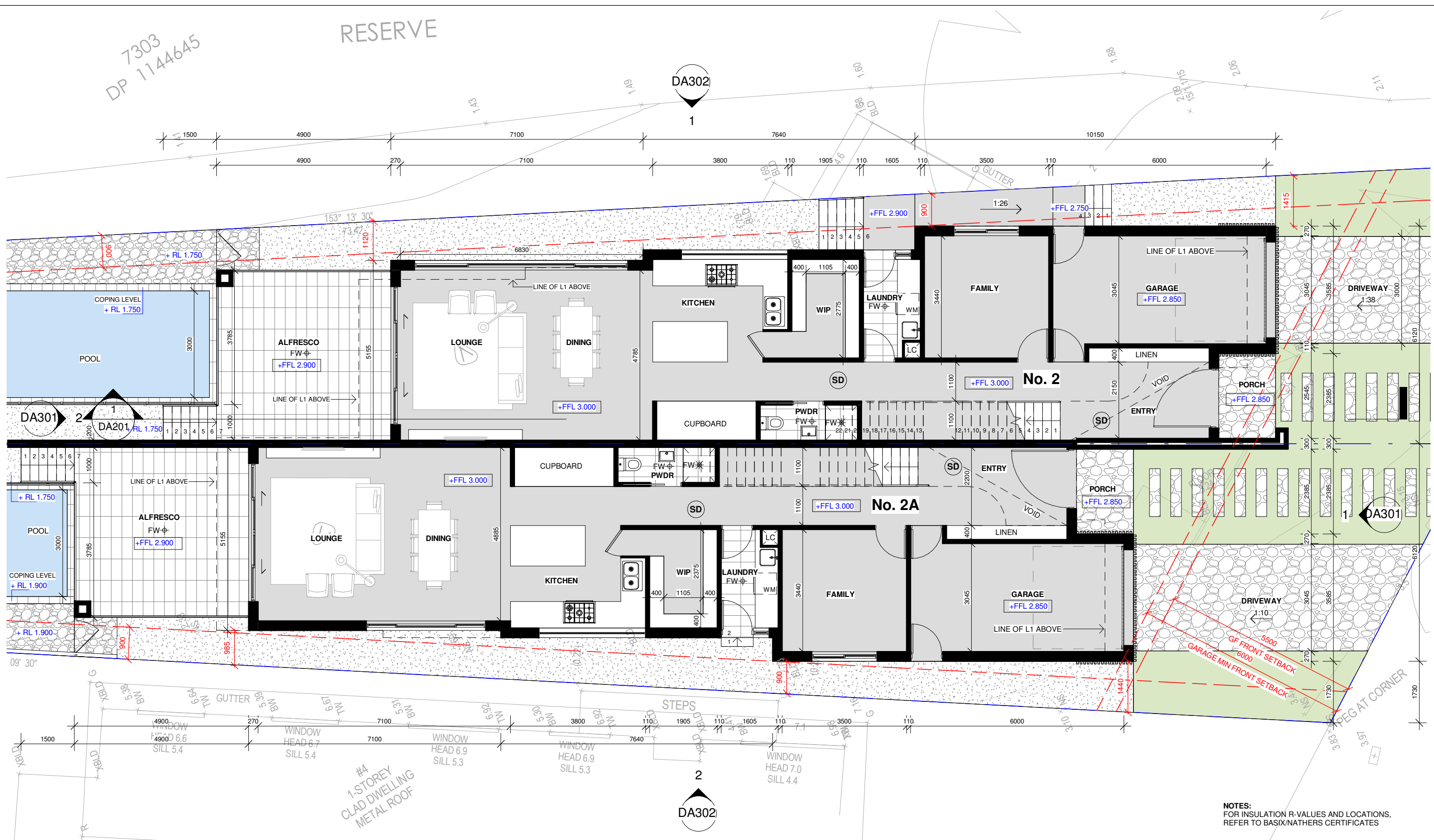
issue **A**

drawing **DA100**

7303  
DP 1144645

RESERVE

DA302

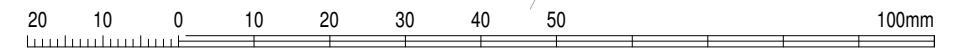


**GROUND FLOOR PLAN**

1 : 100

NOTES:  
FOR INSULATION R-VALUES AND LOCATIONS,  
REFER TO BASIX/NATHERS CERTIFICATES

NOTE:  
ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX REPORT  
(CERTIFICATE NUMBER: 1255092M), NATHERS (CERTIFICATE NUMBERS: 0006734313 &  
0006734321), STRUCTURAL ENGINEER'S DRAWINGS, AND OTHER RELEVANT DOCUMENTS.



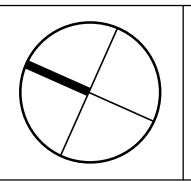
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client TALEB HIJAZI  
project  
PROPOSED DUAL OCCUPANCY  
LOT 134, DP 132272  
2 MEAGER AVENUE  
PADSTOW NSW 2211

drawing  
PROPOSED  
GROUND FLOOR  
PLAN

print 02.11.21  
drawn: JH  
checked YN  
scale 1 : 100 @A3

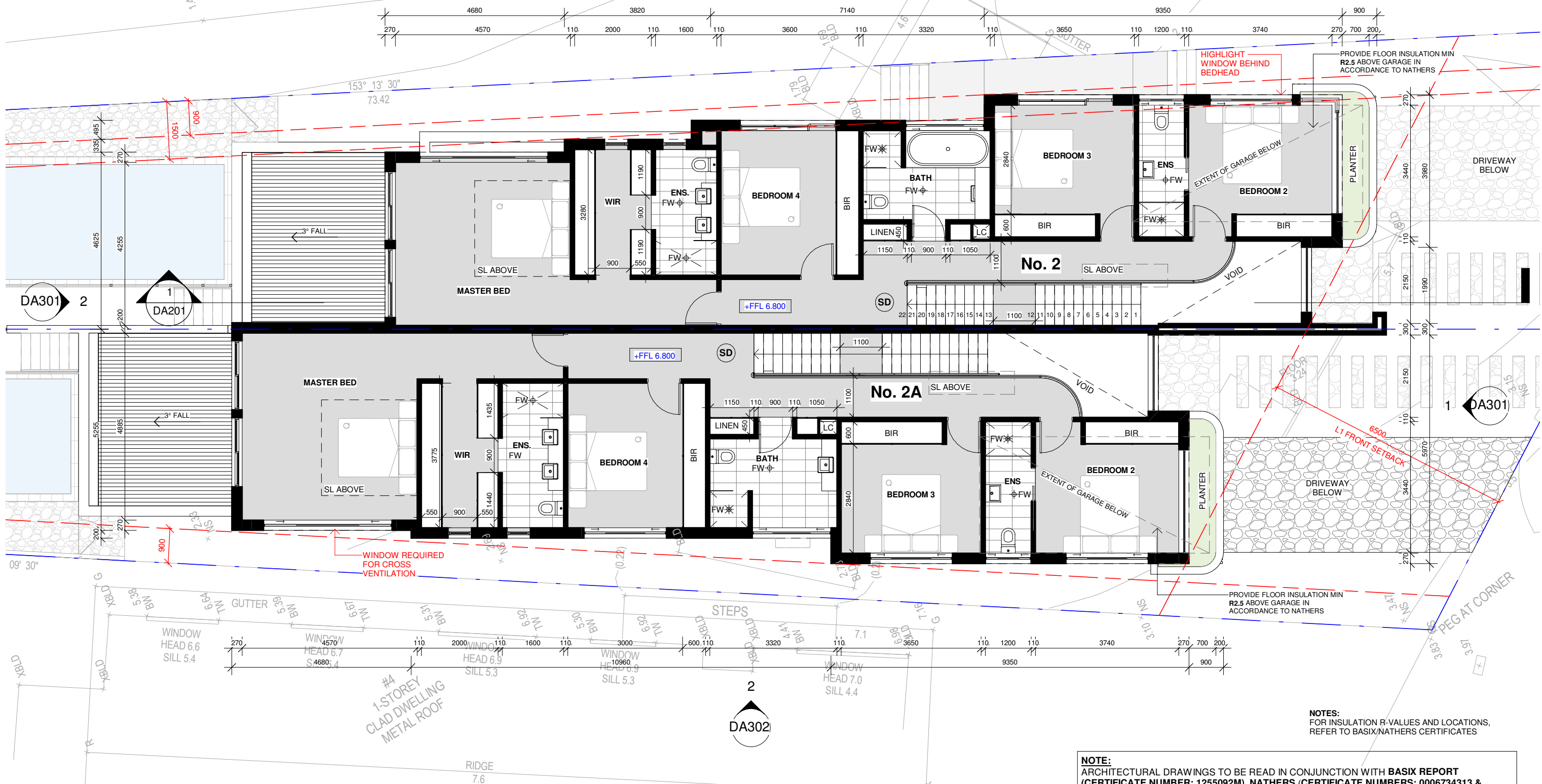
ISSUE  
drawing  
RG21.34  
DA101

7303  
DP 1144645

RESERVE

DA302

1



**FIRST FLOOR PLAN**

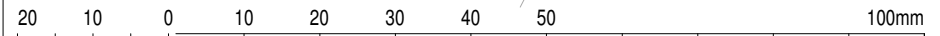
1 : 100

**NOTE:** FIRST FLOOR BEDROOM WINDOWS TO BE PROVIDED WITH LOCKABLE DEVICES.

PROVIDE WINDOW PROTECTION FOR BEDROOMS WHERE THE FLOOR BELOW THE WINDOW IS 2M OR MORE ABOVE THE SURFACE BENEATH. WHERE WINDOW SILL IS LESS THAN 1.7M ABOVE FLOOR, OPENABLE PORTION OF THE WINDOW MUST NOT PERMIT A 125MM SPHERE TO PASS THROUGH THE OPENING OR PROTECTED BY SCREEN WITH SECURE FITTINGS, WHICH CAN RESIST OUTWARD HORIZONTAL ACTION OF 250N IN ACCORDANCE TO NCC2019 CLAUSE 3.9.2.6

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**NOTES:** FOR INSULATION R-VALUES AND LOCATIONS, REFER TO BASIX/NATHERS CERTIFICATES



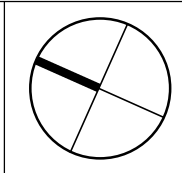
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client **TALEB HIJAZI**  
project **PROPOSED DUAL OCCUPANCY**  
LOT 134, DP 132272  
2 MEAGER AVENUE  
PADSTOW NSW 2211

drawing **PROPOSED FIRST FLOOR PLAN**

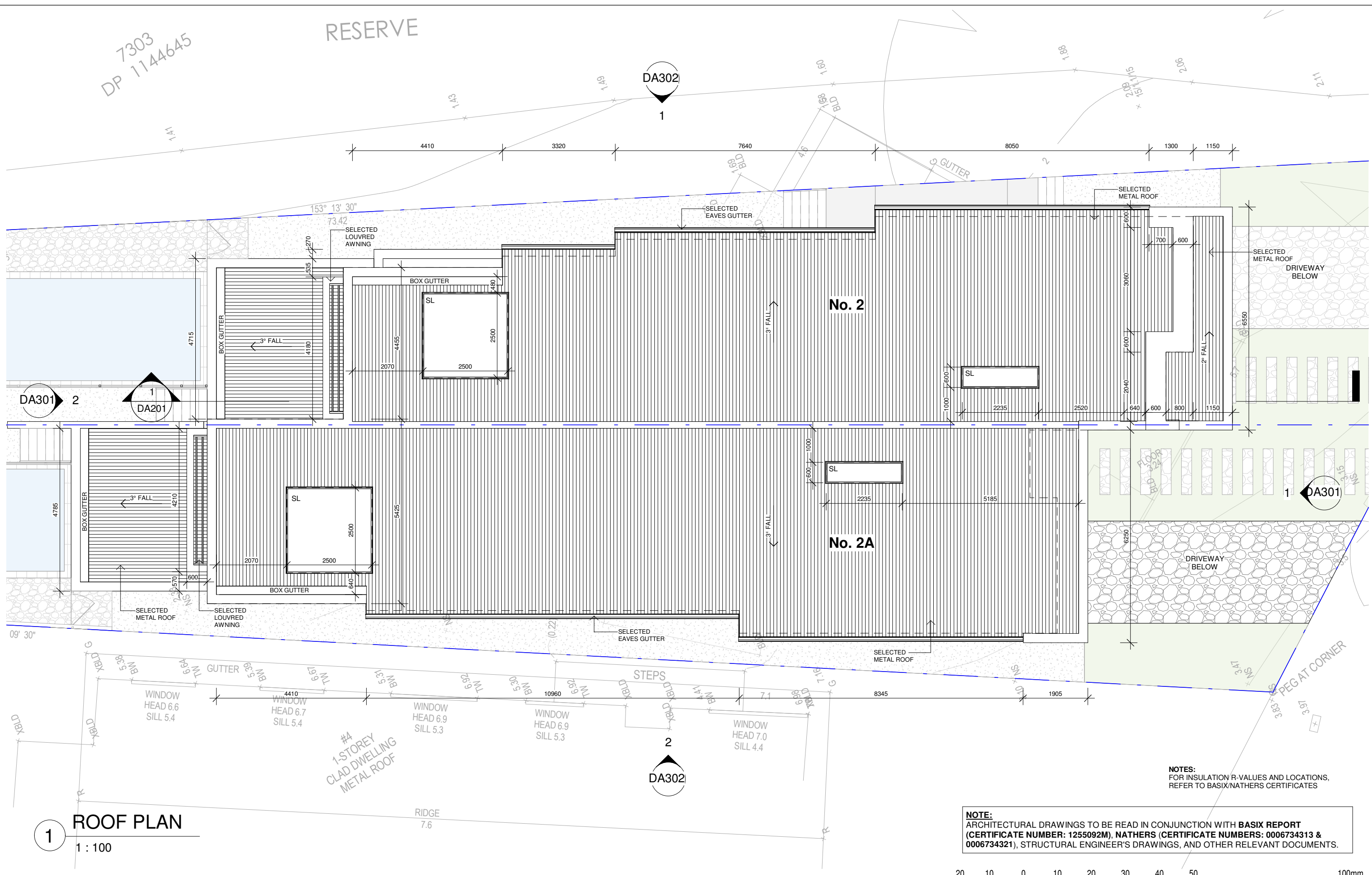
print 02.11.21  
drawn: JH  
checked: YN  
scale 1 : 100 @A3  
DA ISSUE

job **RG21.34**  
drawing **DA102**  
issue **A**

7303  
DP 1144645

RESERVE

DA302



DA301 2

DA201 1

DA301 1

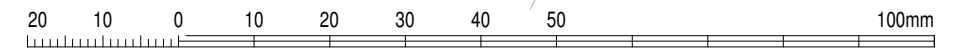
DA302 2

**1** ROOF PLAN

1 : 100

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**NOTE:**  
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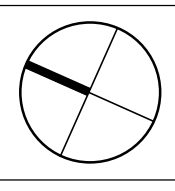
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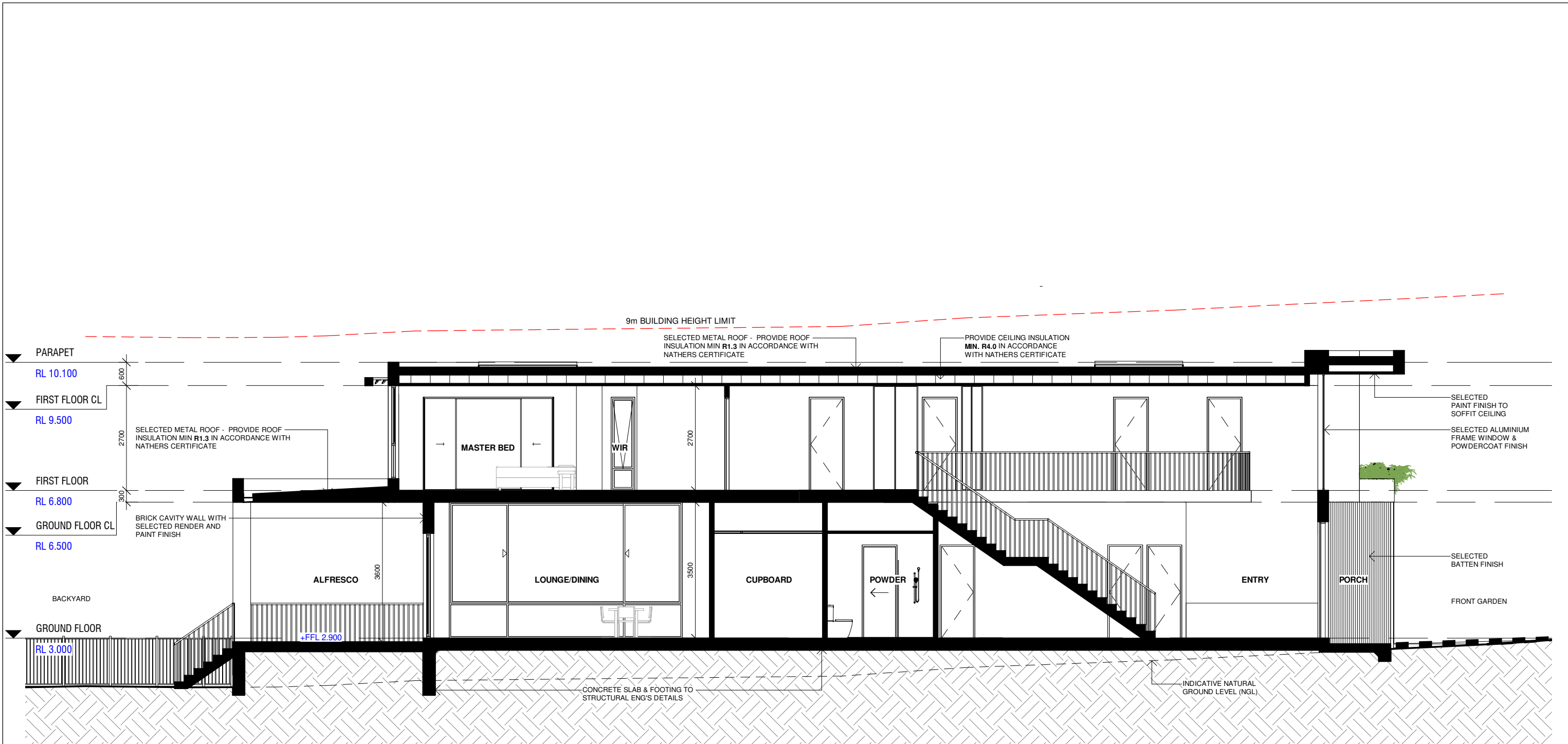


client **TALEB HIJAZI**  
project **PROPOSED DUAL OCCUPANCY**  
LOT 134, DP 132272  
2 MEAGER AVENUE  
PADSTOW NSW 2211

drawing  
**PROPOSED ROOF PLAN**

print 02.11.21  
drawn: JH  
checked: YN  
scale 1 : 100 @A3  
DA ISSUE

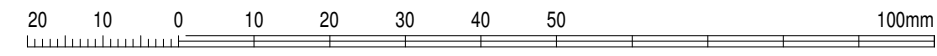
issue  
drawing **RG21.34**  
job **DA103**



**1** SECTION 01 (UNIT 2)  
1 : 100

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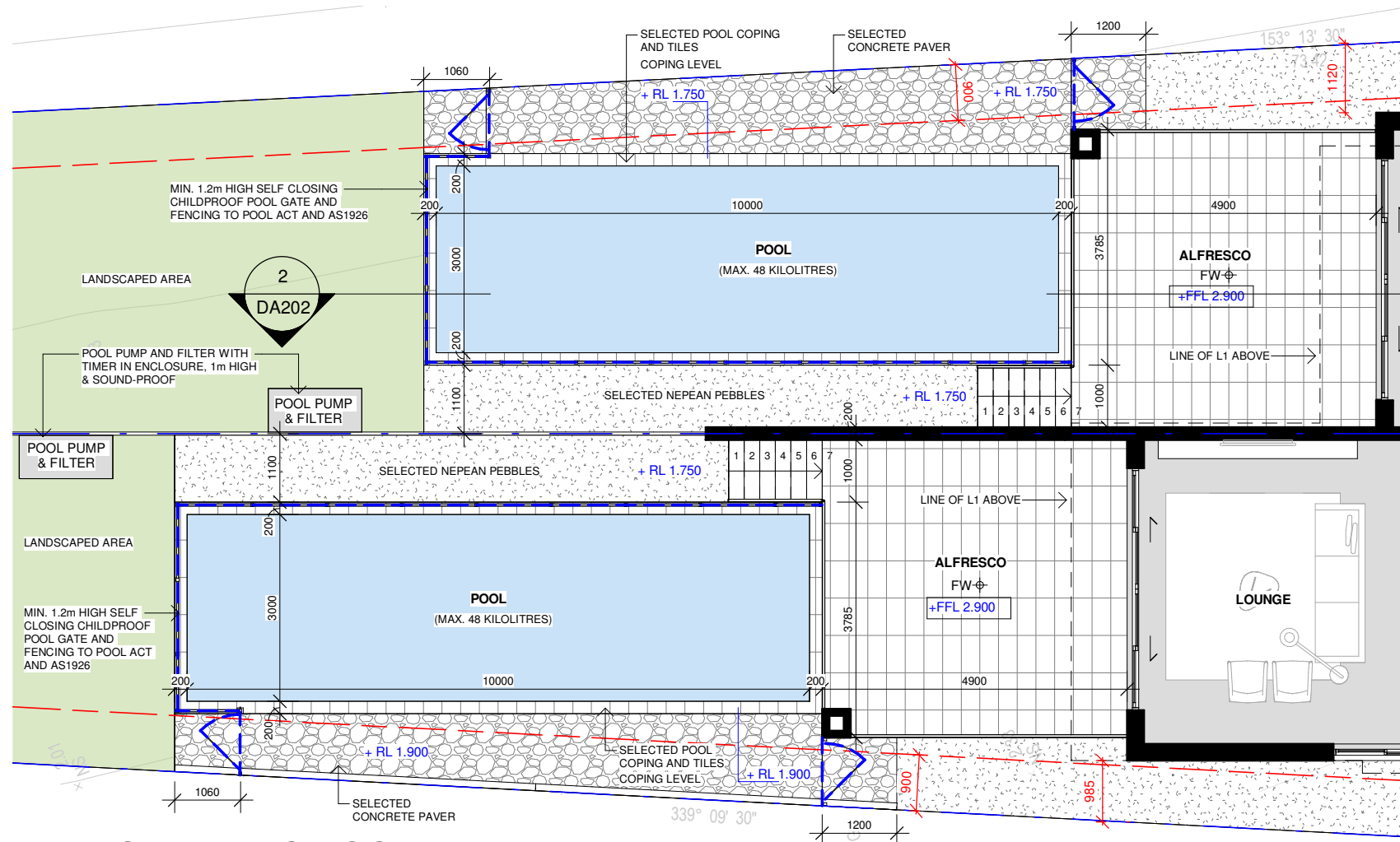
client TALEB HIJAZI  
project **PROPOSED DUAL OCCUPANCY**  
LOT 134, DP 132272  
2 MEAGER AVENUE  
PADSTOW NSW 2211

drawing **BUILDING SECTION**  
print 02.11.21  
drawn: JH  
checked: YN  
scale 1 : 100 @A3  
DA ISSUE

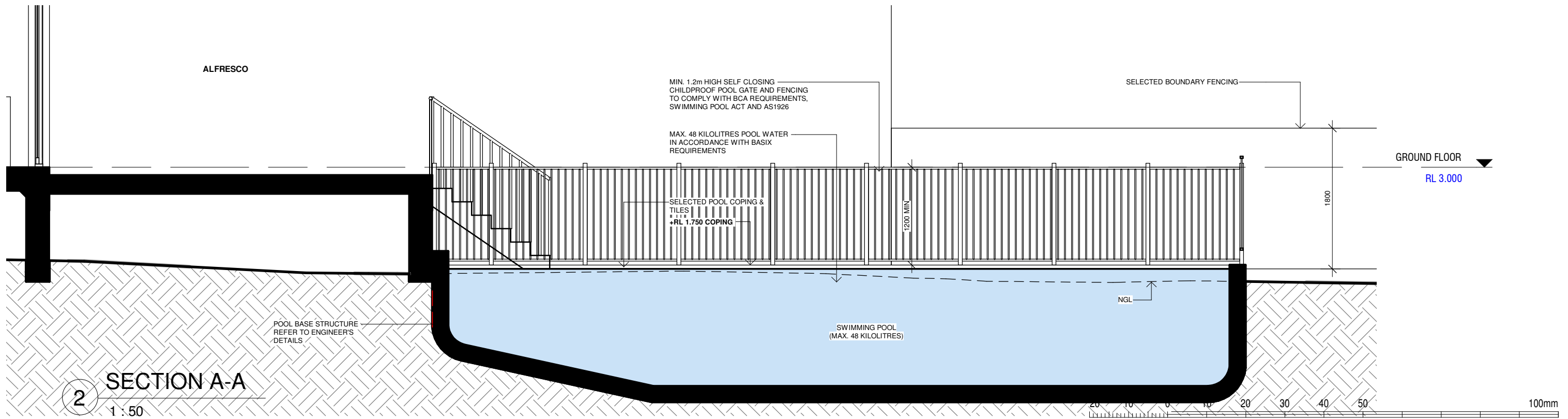
issue **A**  
drawing **RG21.34**  
job **DA201**



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**1** SWIMMING POOL PLAN  
 1 : 100



**2** SECTION A-A  
 1 : 50

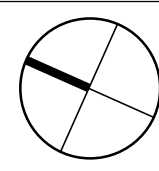
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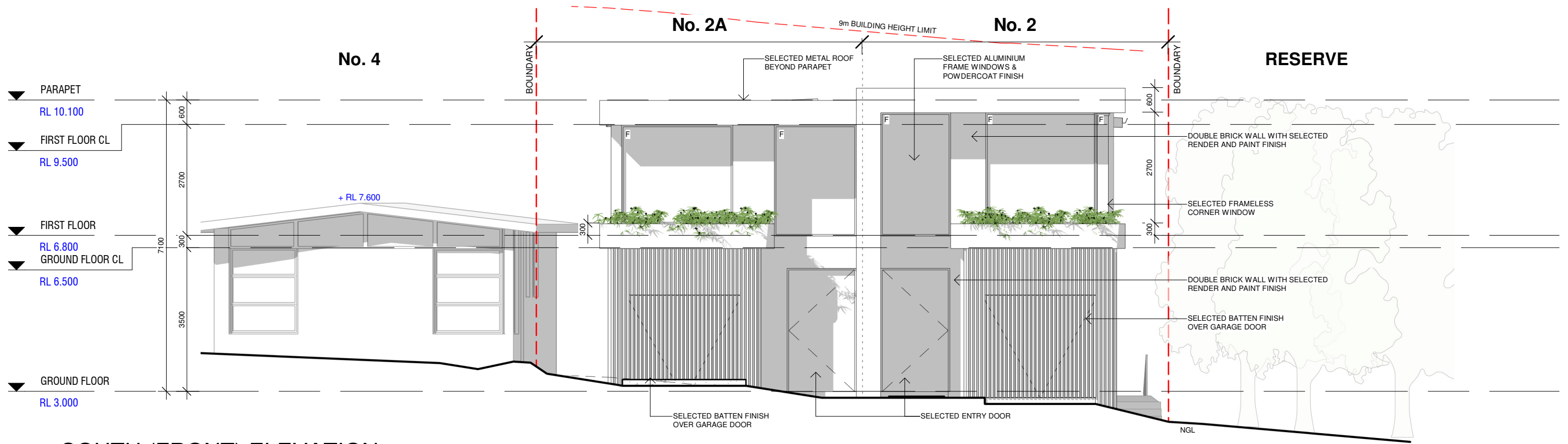
client **TALEB HIJAZI**  
 project **PROPOSED DUAL OCCUPANCY**  
 LOT 134, DP 132272  
 2 MEAGER AVENUE  
 PADSTOW NSW 2211

drawing **SWIMMING POOL DETAILS**

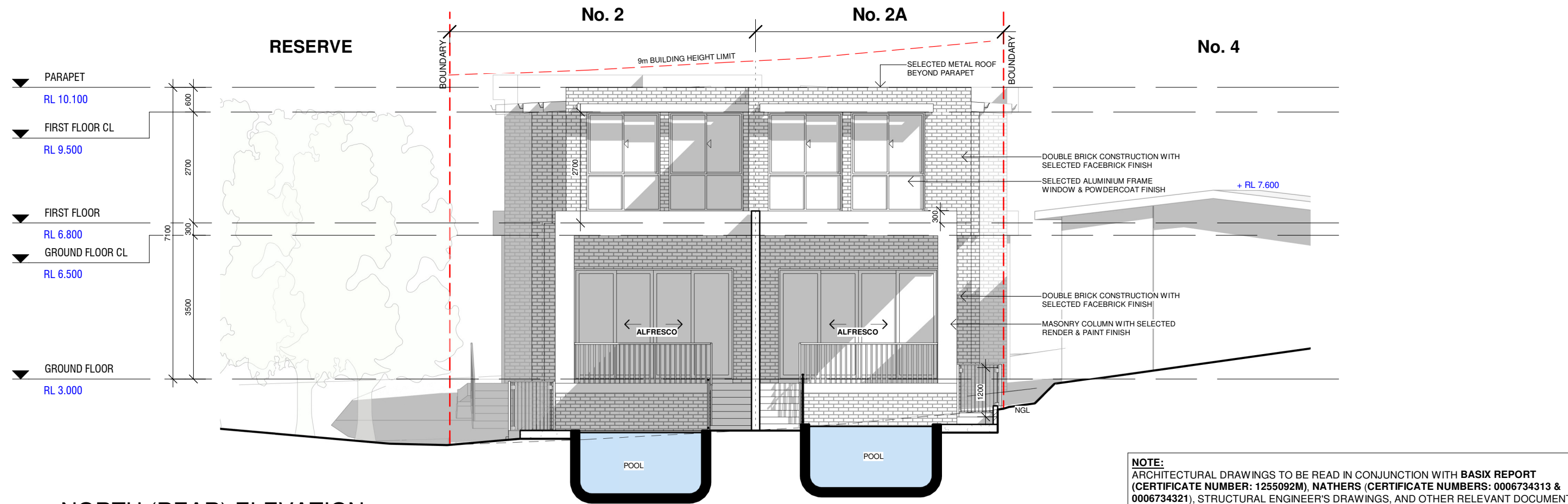
print 02.11.21  
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 checked: YN  
 scale: As indicated @A3

job **RG21.34**  
 drawing **DA202**  
 issue **A**

DA ISSUE

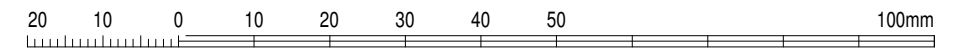


1 SOUTH (FRONT) ELEVATION  
1 : 100



2 NORTH (REAR) ELEVATION  
1 : 100

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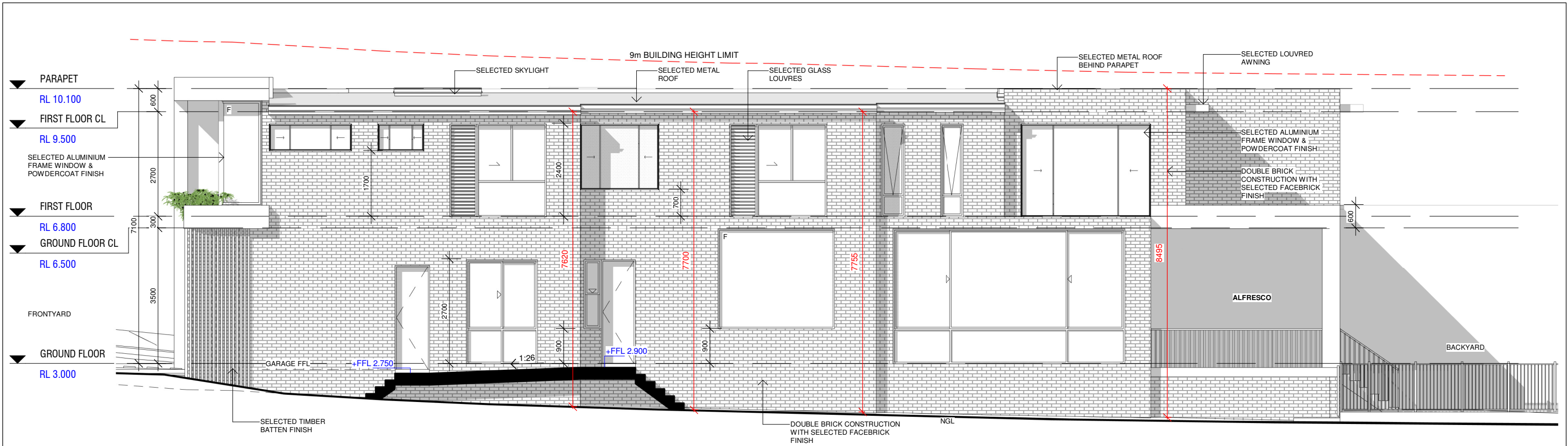


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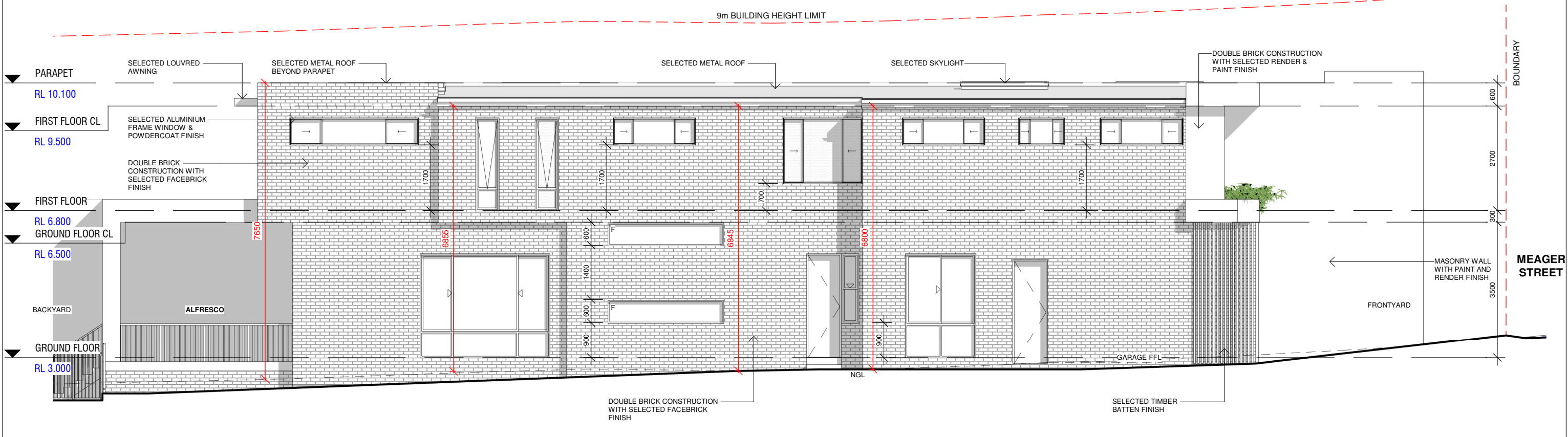
client TALEB HIJAZI  
project PROPOSED DUAL OCCUPANCY  
LOT 134, DP 132272  
2 MEAGER AVENUE  
PADSTOW NSW 2211

drawing **ELEVATIONS - SHEET 1**  
print 02.11.21  
drawn: JH  
checked: YN  
scale 1 : 100 @A3  
DA ISSUE

job  
drawing **RG21.34**  
issue **A**  
drawing **DA301**

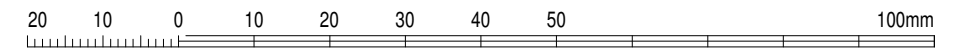


**1 EAST ELEVATION - UNIT 2**  
1 : 100



**2 WEST ELEVATION - UNIT 2A**  
1 : 100

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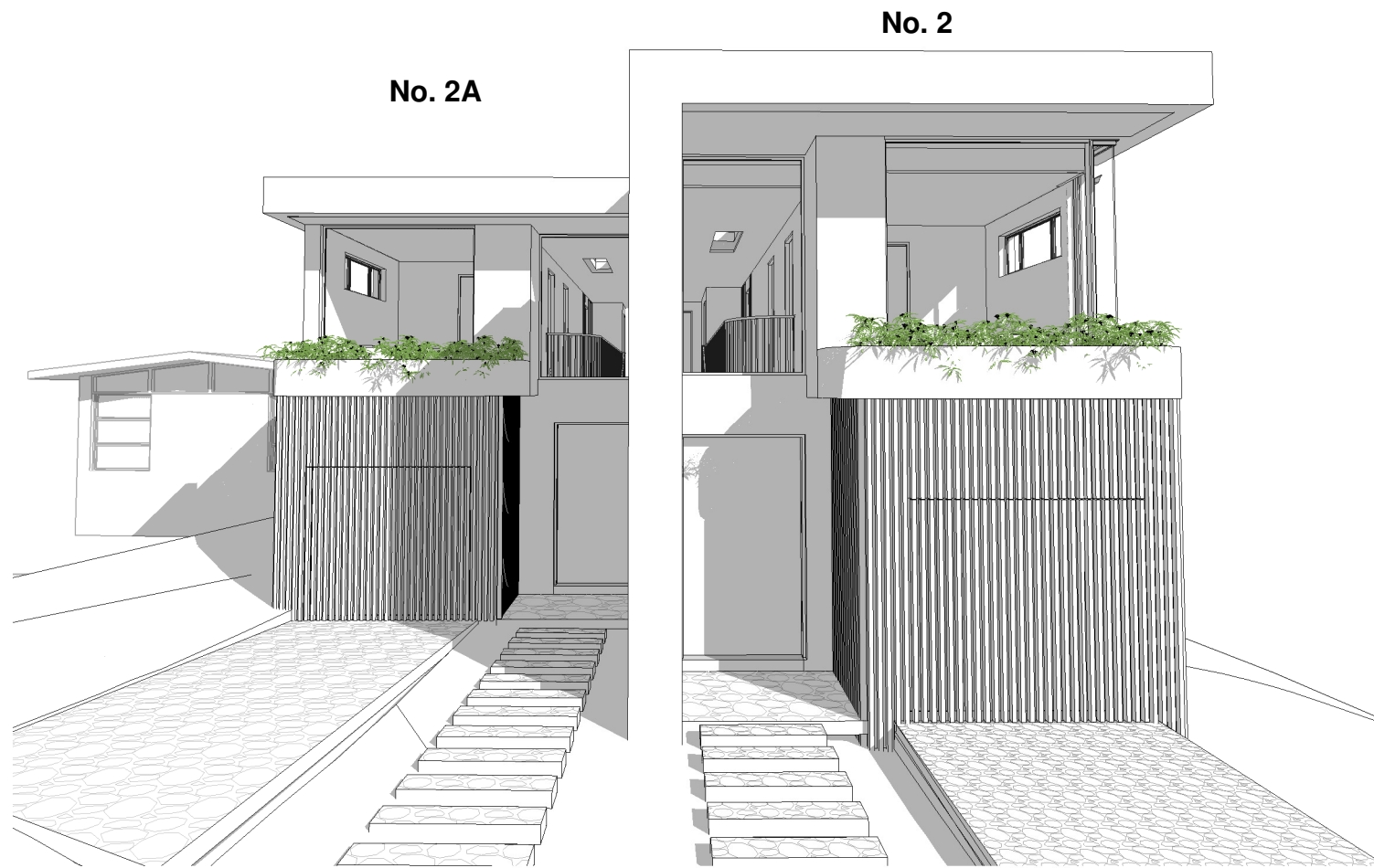


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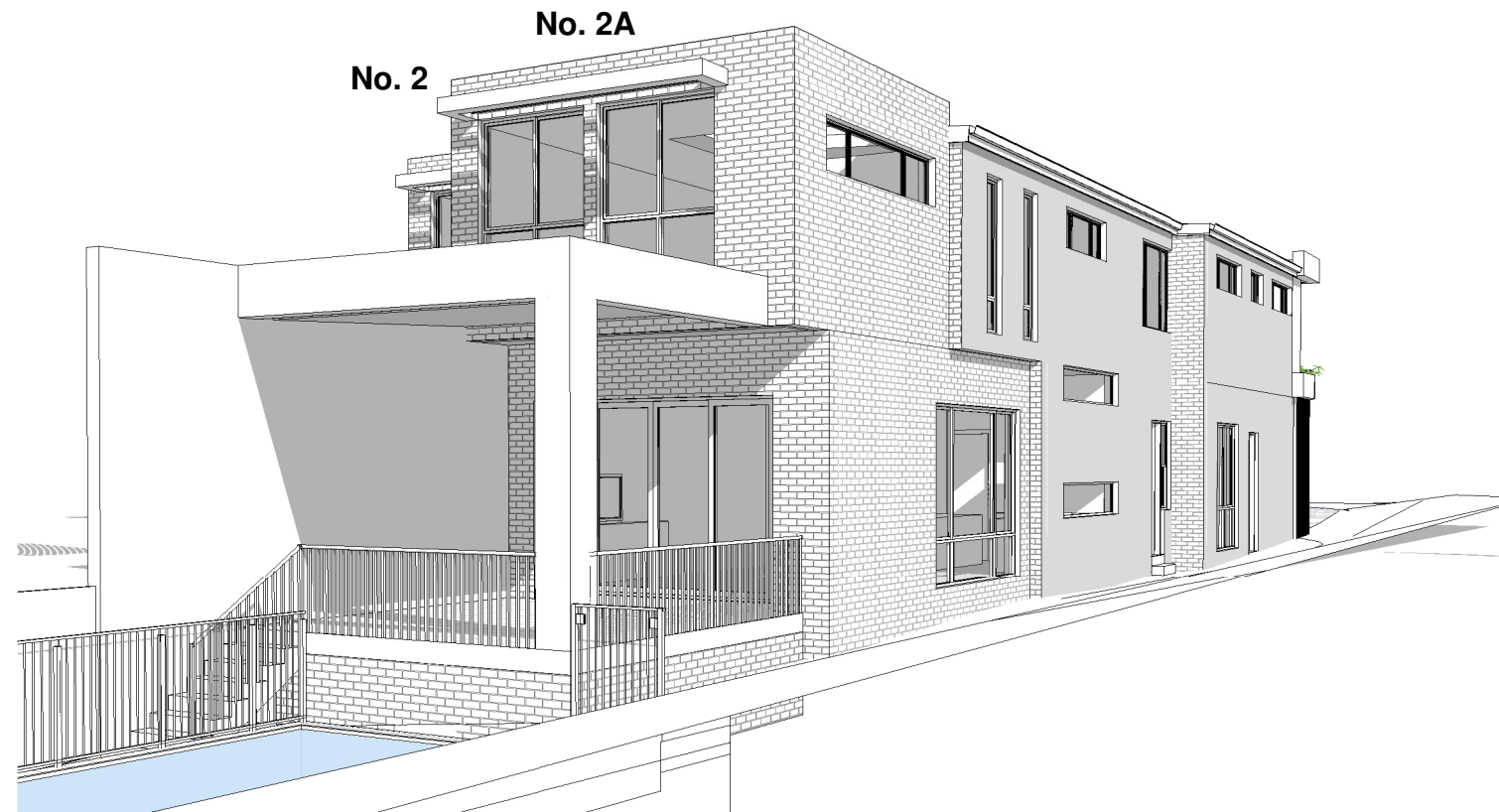
client **TALEB HIJAZI**  
project **PROPOSED DUAL OCCUPANCY**  
LOT 134, DP 132272  
2 MEAGER AVENUE  
PADSTOW NSW 2211

drawing **ELEVATIONS - SHEET 2**  
print 02.11.21  
drawn: JH  
checked: YN  
scale 1 : 100 @A3  
DA ISSUE

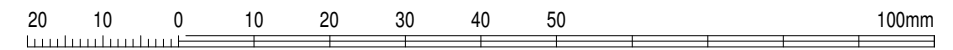
ISSUE **A**  
drawing **RG21.34**  
job **DA302**



**1** MEAGER STREET FACADE  
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**2** REAR OF DWELLING  
FOR ILLUSTRATION ONLY



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client TALEB HIJAZI  
project PROPOSED DUAL OCCUPANCY  
LOT 134, DP 132272  
2 MEAGER AVENUE  
PADSTOW NSW 2211

drawing 3D PERSPECTIVE VIEWS

print 02.11.21  
drawn: JH  
checked YN  
scale @A3  
DA ISSUE

job  
drawing  
issue  
**A**  
RG21.34  
DA501